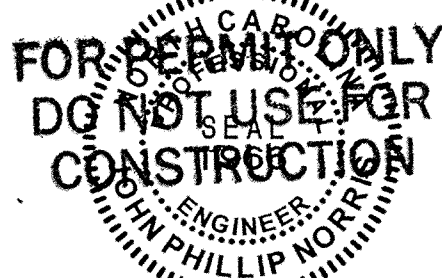
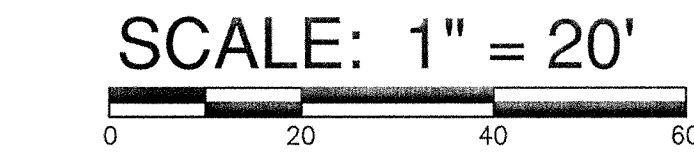


SITE INVENTORY DATA	
PLAN PREPARER:	ISOM HAM & NORRIS & TUNSTALL CONSULTING ENGINEERS.
APPLICANT NAME:	J. PHILLIP NORRIS, P.E.
SITE ADDRESS:	501 NUTT STREET
PROPERTY OWNER:	WILMINGTON HOSPITALITY ASSOCIATES, LLC
DEVELOPER:	WILMINGTON HOSPITALITY ASSOCIATES, LLC
PARCEL #:	R04716-001-006-000
ZONING:	CBD
ADJACENT PROPERTY OWNER:	CAPE FEAR COMMUNITY COLLEGE - CBD, GREATER WILMINGTON CHAMBER OF COMMERCE - CBD
VICINITY MAP:	SEE PLAN
TOPOGRAPHIC DATA:	SEE PLAN
100 YR FLOOD ELEVATION:	N/A
LOCATION OF WATER FEATURES:	N/A
SOILS TYPE:	URBAN DEVELOPED
CAMA DATA:	N/A
CAMA CLASSIFICATION:	URBAN
CONSERVATION RESOURCES:	N/A
RECOGNIZED SITE:	NO RECOGNITION
CEMETERIES:	N/A
FORESTED AREAS:	N/A
WETLANDS:	N/A
PROTECTED SPECIES:	N/A
TRANSPORTATION DATA:	SEE PLAN

NOTES:
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PHONE (910) 287-5900
N&T PROJECT# 16092



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BY

REVISIONS

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JPN

PROJ. #
16092

DATE
05/14/18

QUALITY FIRST

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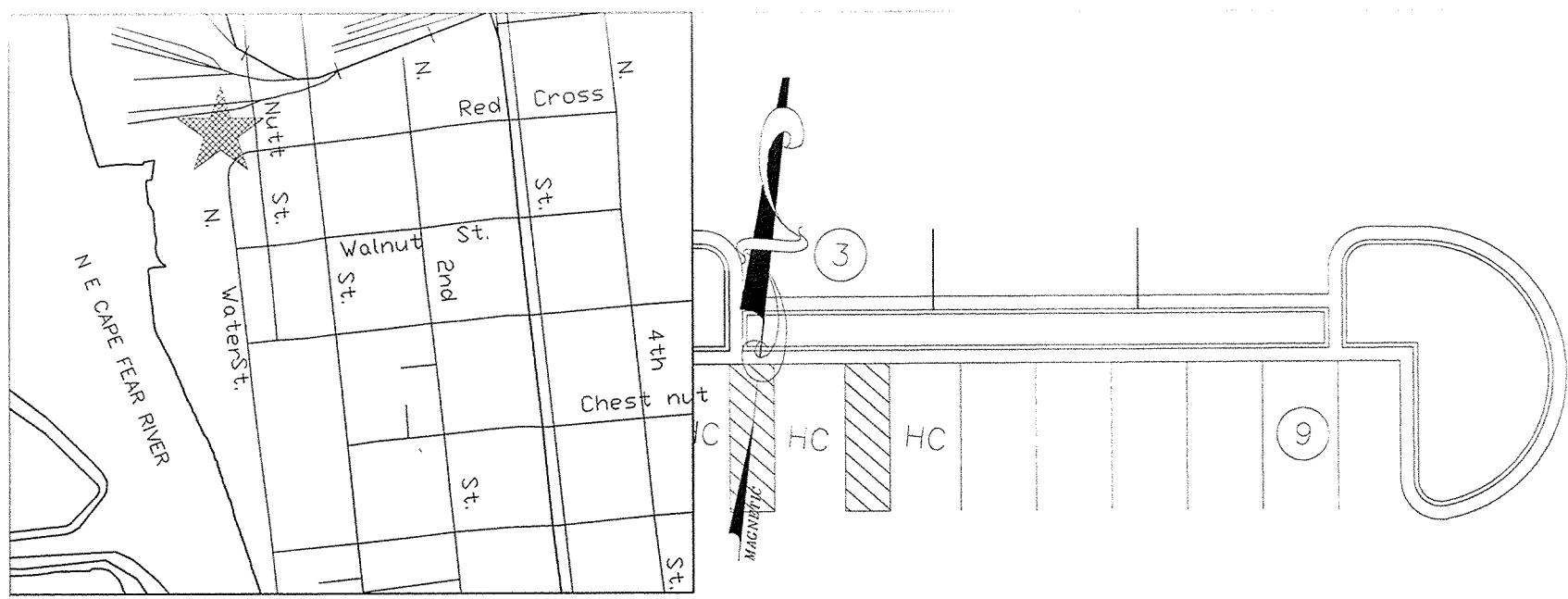
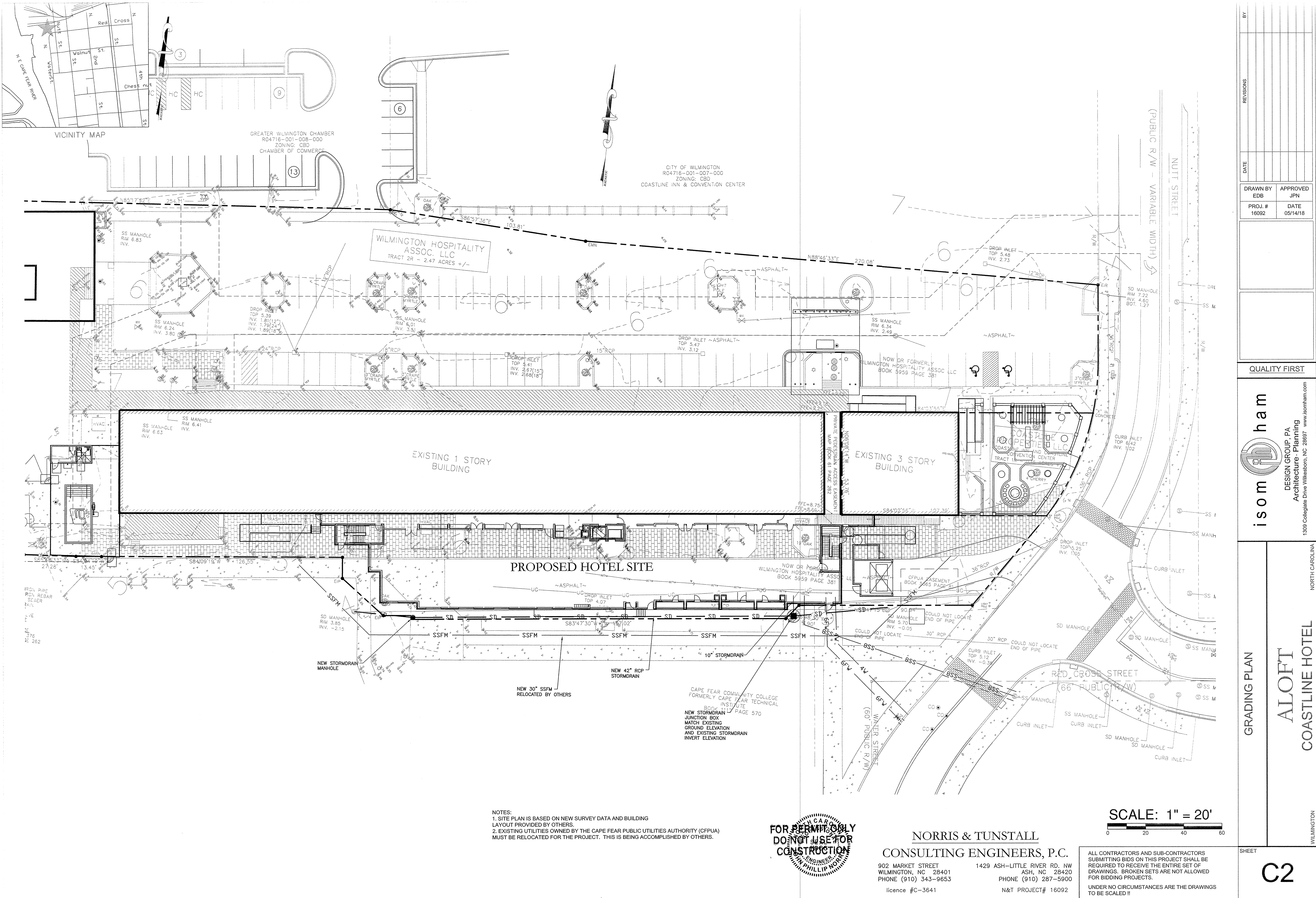
DESIGN GROUP, PA
Architecture - Planning
1305 Collegiate Drive Wileysboro, NC 28697 www.isomham.com

EXISTING CONDITIONS / SITE INVENTORY PLAN

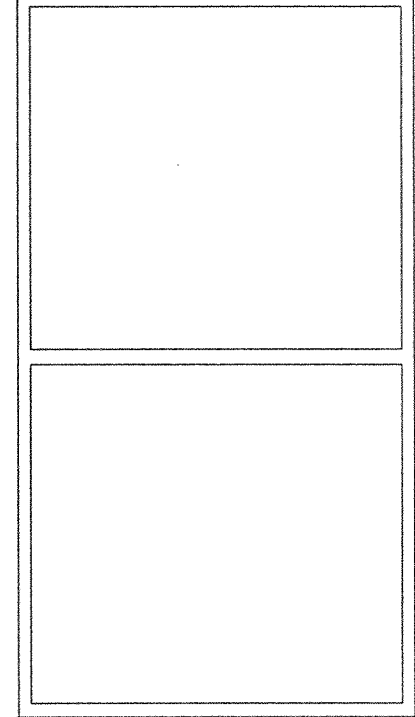
ALOFT
COASTLINE HOTEL

WILMINGTON
NORTH CAROLINA

SHEET
C1



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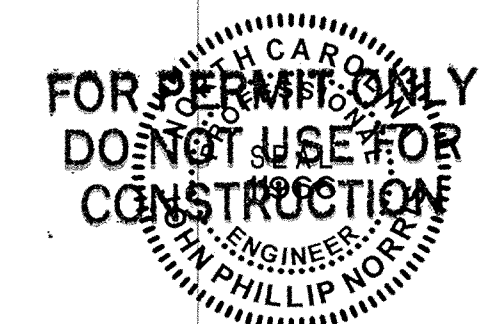
GRADING PLAN

ALOFT
COASTLINE HOTEL

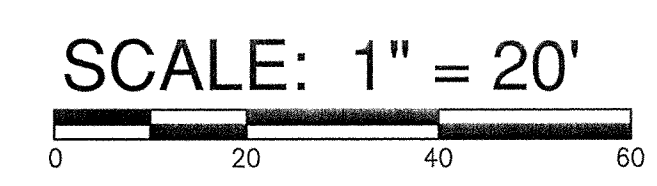
WILMINGTON

C2

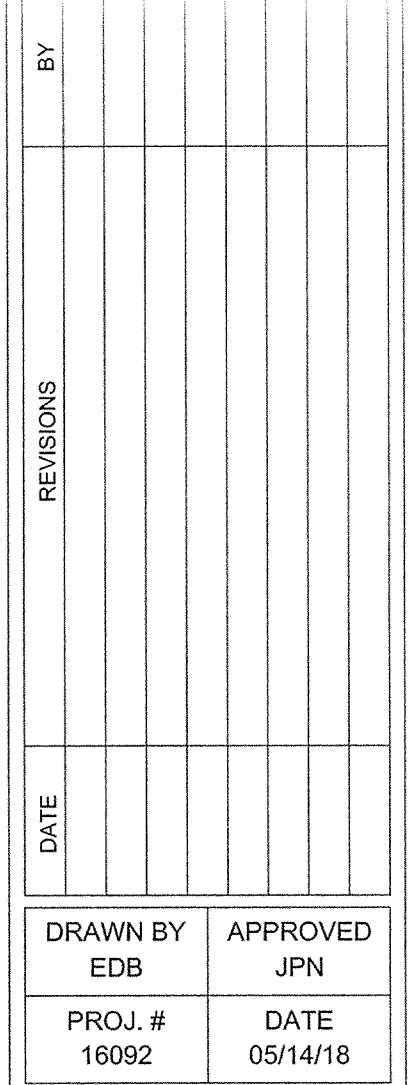
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WILMINGTON	SITE PLAN
ALOFT COASTLINE HOTEL	
NORTH CAROLINA	

SHEET

C3

IMPERVIOUS DATA

LOT SIZE:	114,018.38 SF
EX. IMPERVIOUS:	105,561.29 SF
PROPOSED IMPERVIOUS:	4,300 SF (OUTSIDE OF EX. IMPERVIOUS)

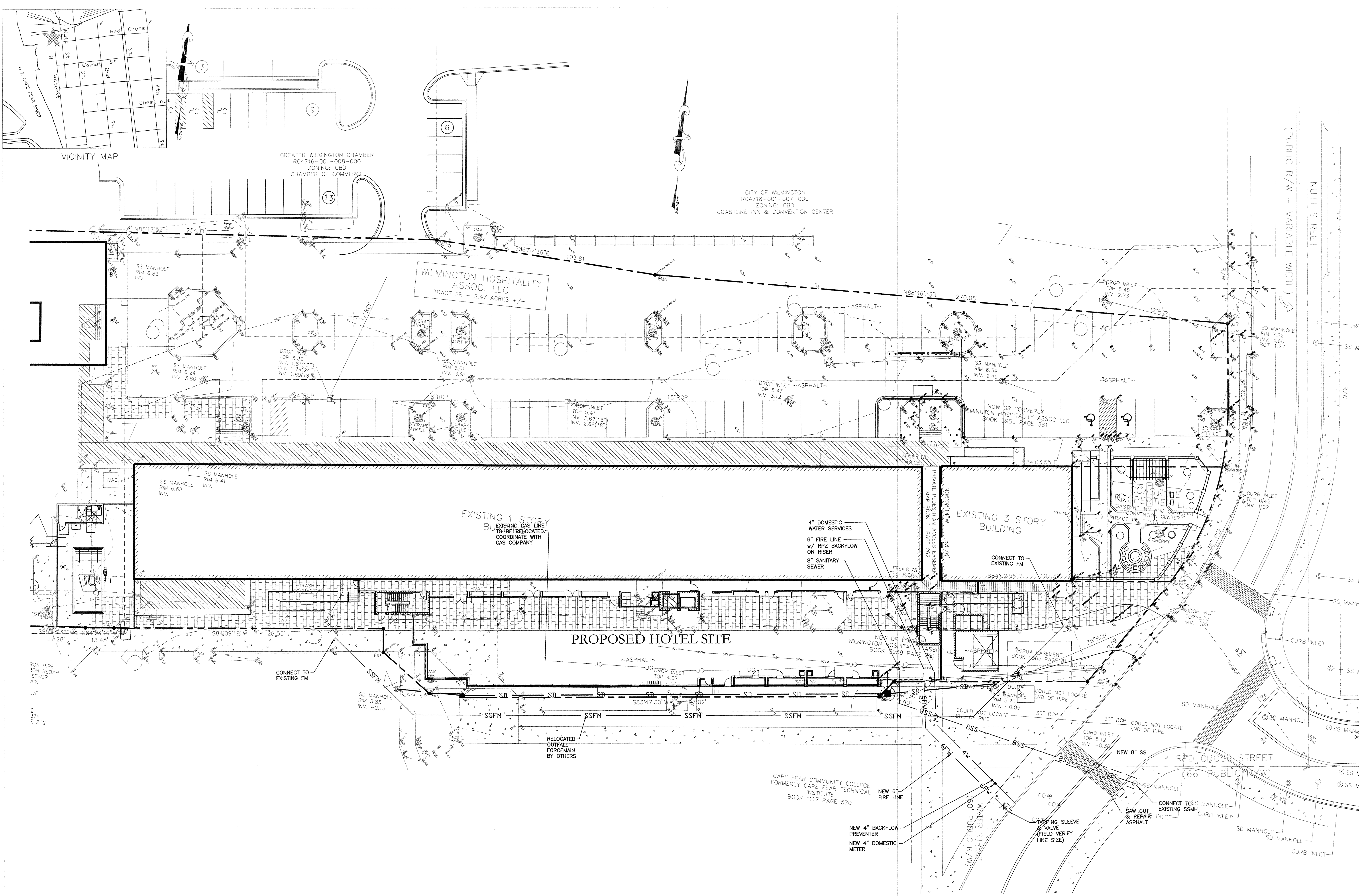
FOR PERMIT ONLY
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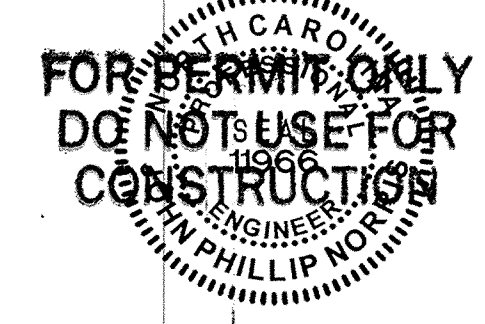
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WILMINGTON, NC 28401	ASH, NC 28402
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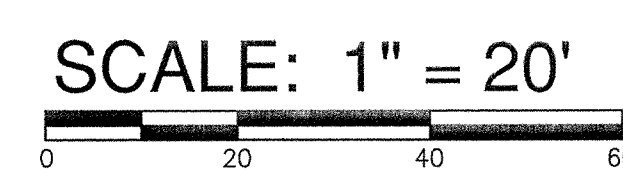
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UTILITY PLAN

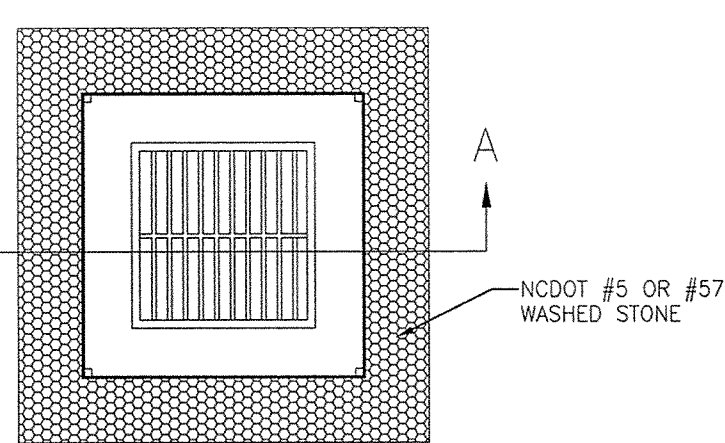
ALOFT
COASTLINE HOTEL

WILMINGTON

NORTH CAROLINA

C4

SHEET



1. SYN. FENCE FABRIC SHALL BE MIN. OF 30" IN WIDTH WITH 30 LB/IN TENSILE STRENGTH FOR STANDARD FABRIC AND 50 LB/IN FOR EXTRA STRENGTH.
2. FABRIC SHALL BE CONTINUOUS LENGTH. IF JOINTS ARE NECESSARY, LAP FABRIC POST TO POST.
3. STEEL POST SHALL BE MIN 4' IN HEIGHT AND BE OF THE SELF-FASTENER STEEL ANGLE TYPE.

NTS

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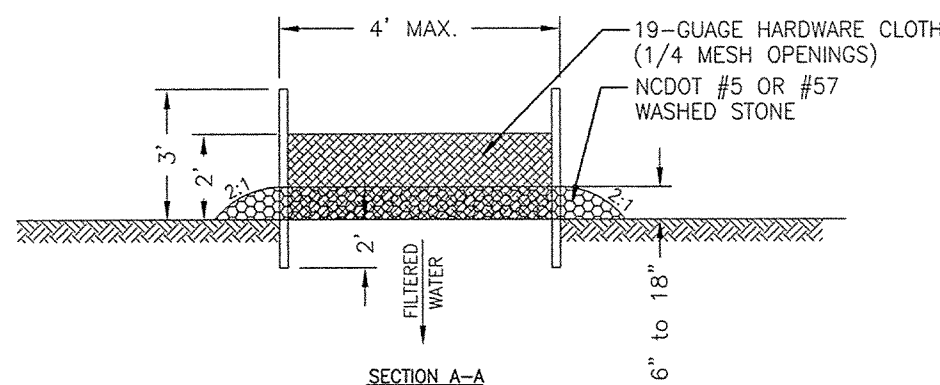
CONSTRUCTION SPECIFICATION:

1. CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
2. PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
3. PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
4. USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

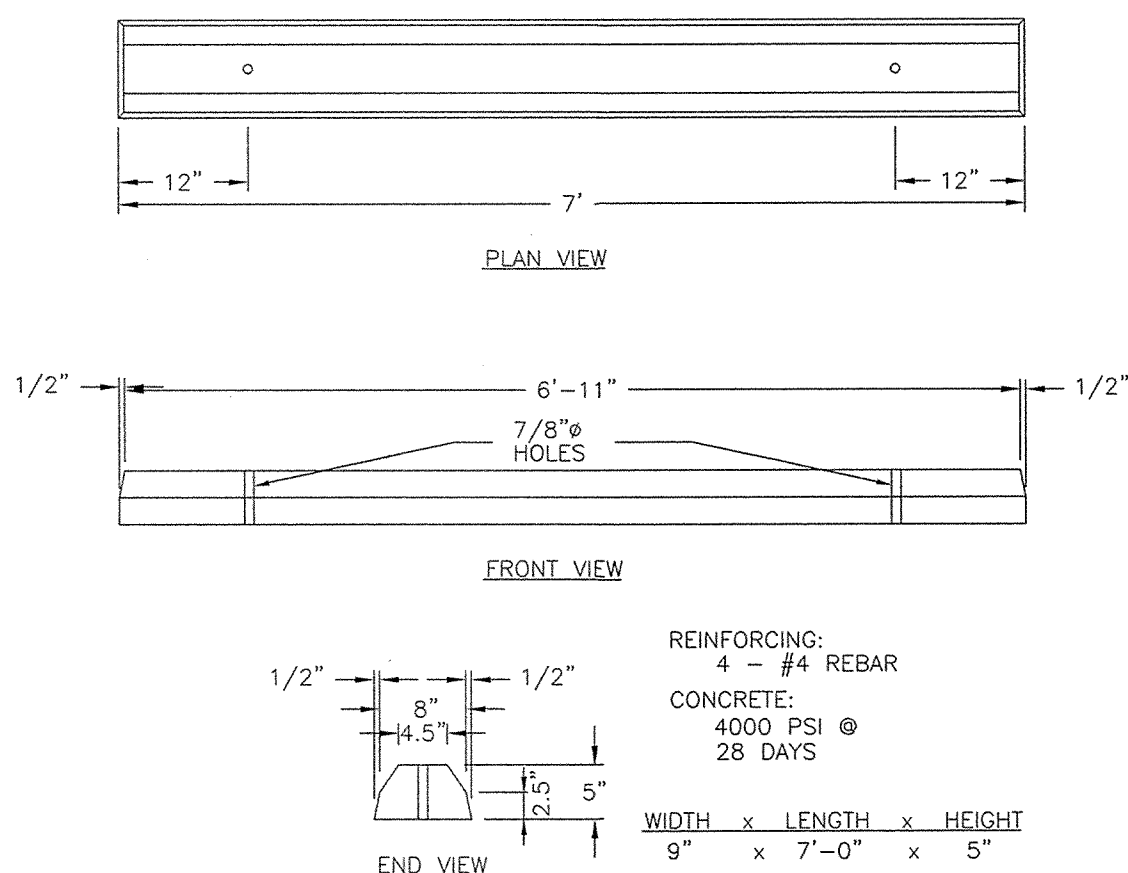
MAINTENANCE:
 MAINTAIN THE GRAVEL PAD AS A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2 INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

1. UNIFORMLY GRADE A SHALLOW DEPRESSION APPROACHING THE INLET.
2. DRIVE 5" STEEL POST 2' INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4' APART.
3. SURROUND THE POST WITH WIRE MESH HARDWARE CLOTH. SECURE THE WIRE MESH TO THE STEEL POST AT THE TOP, MIDDLE AND BOTTOM. PLACING A 2" FLAP OF THE WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.
4. PLACE CLEAN GRAVEL (NCDOT #5 OR #57 STONE) ON A 2:1 SLOPE WITH A HEIGHT OF 16" TO 18" AROUND THE WIRE, AND SMOOTH TO AN EVEN GRADE.
5. IF THERE ARE CONTRIBUTING DRAINAGE AREAS HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT, AND ESTABLISH FINAL GRADING ELEVATIONS.
6. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUNDCOVER.

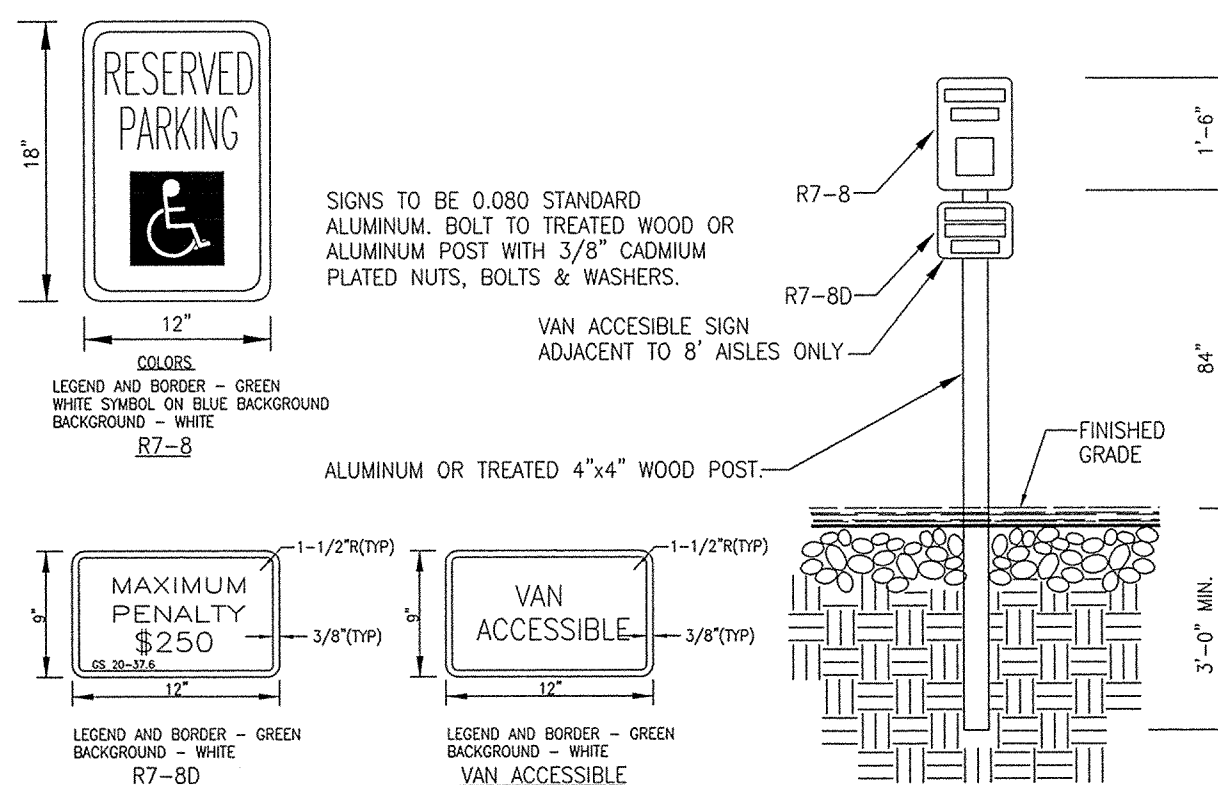
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.



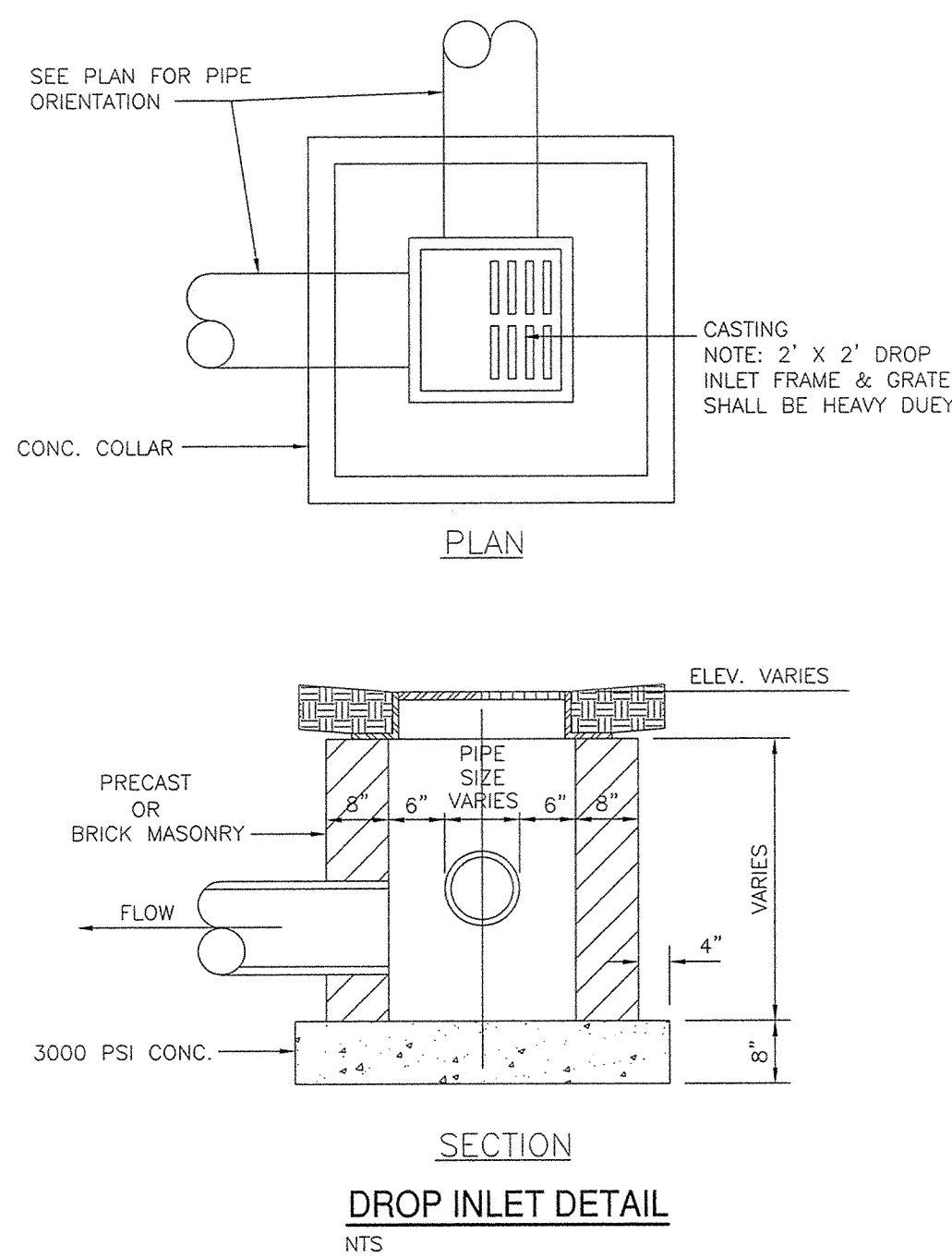
NTS



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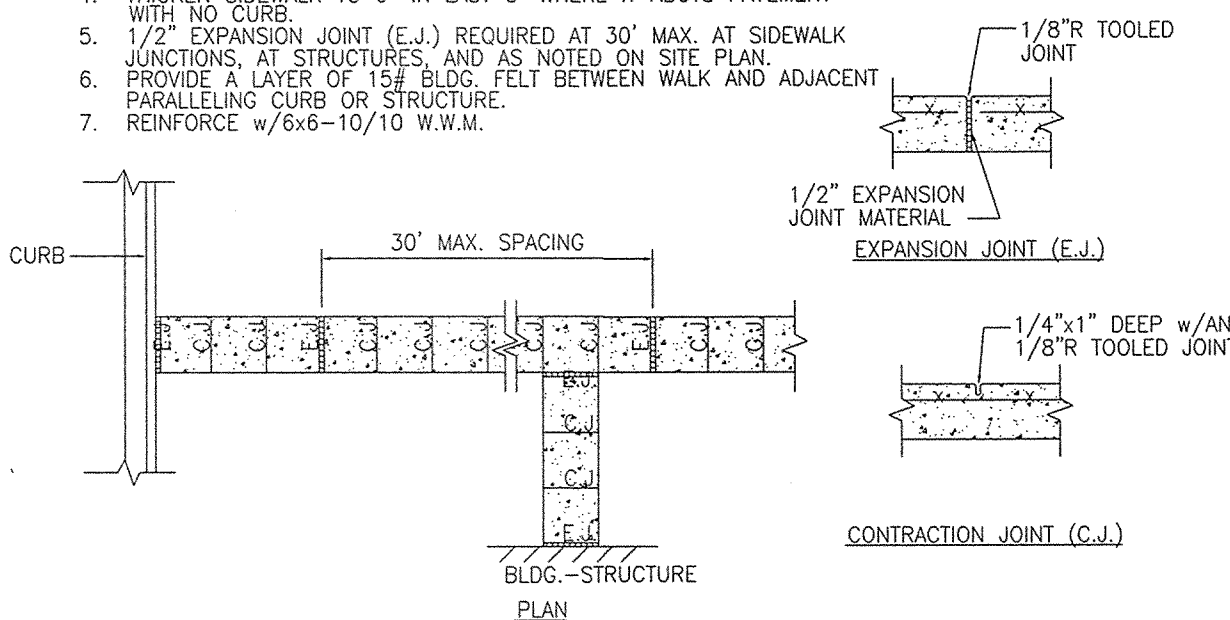


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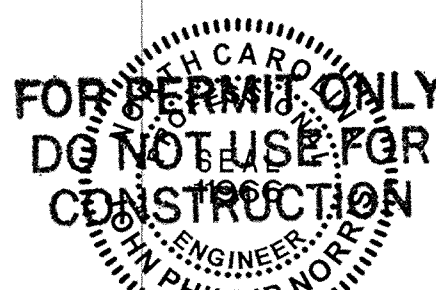


NOTES:

1. THICKNESS SHALL BE 4" UNLESS NOTED OTHERWISE.
2. CONTRACTION JOINTS (C.J.) SPACE SAME AS SIDEWALK WIDTH.
3. THICKEN SIDEWALK TO 6" AT DRIVEWAYS.
4. THICKEN SIDEWALK TO 6" IN LAST 3' WHERE IT ABUTS PAVEMENT WITH NO CURB.
5. 1/2" EXPANSION JOINT (E.J.) REQUIRED AT 30' MAX. AND ADJACENT TO STRUCTURES, AND AS NOTED ON SITE PLAN.
6. PROVIDE A LAYER OF 15# BLDG. FELT BETWEEN WALK AND SIDEWALK.
7. PARALLEL CURB OR STRUCTURE.
8. REINFORCE w/6x6-10/10 W.W.M.



NTS



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licence #C-3641

N&T PROJECT# 16092

1. CONTACT THE NORTH CAROLINA ONE CALL CENTER PRIOR TO DOING ANY DIGGING AT 1-800-632-4949.
2. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES. THE LOCATION OF THE PROTECTION FENCING WILL BE DETERMINED BY THE MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING. ALL TREE PROTECTION MUST BE MAINTAINED DURING CONSTRUCTION.
3. ALL PAVEMENT MARKINGS IN PUBLIC RIGHT-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NC DOT STANDARDS.
4. TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
5. ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS, OR CURBING WILL BE REPLACED.
6. CONTACT TRAFFIC ENGINEERING AT 341-7893 TO DISCUSS STREET LIGHTING OPTIONS.
7. ALL SITE LIGHTING SHALL BE LOCATED AND INSTALLED SO AS NOT TO SHINE DIRECTLY ONTO OR PREVAILED THE UNRESTRICTED LIGHTING IS LIMITED TO A HEIGHT OF TEN (10) FEET AND 90 DEGREE CUTOFF LIGHTING IS LIMITED TO FIFTEEN (15) FEET.
8. MECHANICAL EQUIPMENT AND TRASH RECEPTACLES WILL BE SCREENED BY AN EIGHT (8) FEET HIGH OPAQUE FENCE.
9. PROJECT SHALL COMPLY WITH CAPE FEAR PUBLIC UTILITIES AUTHORITY CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) SHALL BE RELOCATED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR APPROVAL.
10. IF THE CONTRACTOR DESIRES WATER FOR CONSTRUCTION HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
11. ANY IRRIGATION SYSTEM SHALL COMPLY WITH THE CAPE FEAR PUBLIC UTILITIES AUTHORITY CROSS CONNECTION CONTROL REGULATIONS.
12. ALL BACKFLOW PREVENTION DEVICES REQUIRED BY THE CAPE FEAR PUBLIC UTILITIES AUTHORITY WILL NEED TO BE ON THE LIST OF APPROVED DEVICES BY USFCCOCHR OR ASSE.
13. WHEN PVC WATER MAINS AND/OR POLYETHYLENE SERVICES ARE PROVIDED, THE PIPES ARE TO BE MARKED WITH NO. 10 SINGLE OR DOUBLE INSULATED COPPER WIRE. ALONG THE ENTIRE LENGTH AND STRAPPED TO THE PIPES WITH DUCT TAPE, THE INSULATED WIRE IS TO BE STRIPPED TO BARE WIRE AND SECURED TO ALL VALVES. THIS WIRE IS TO BE ACCESSIBLE TO ALL UTILITY PERSONNEL TO IDENTIFY WATER BOXES TO AID IN FUTURE LOCATION OF FACILITIES.
14. CONTRACTOR SHALL COORDINATE ALL UTILITIES WITH CFPWA PRIOR TO CONSTRUCTION.
15. ALL TRAFFIC CONTROL SIGNS AND MARKING OFF THE RIGHT OF WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
16. ALL PARKING MARKINGS AND LANE ARROWS WITHIN THE PARKING AREA SHALL BE WHITE.
17. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPPING.
18. LANDSCAPE PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES MUST BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
19. TACTILE WARNING MATS ARE TO BE INSTALLED ON ALL WHEELCHAIR RAMPS.
20. CALL 341-5888 TO SEE IF A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET.
21. ANY GROUND LEVEL MECHANICAL EQUIPMENT, HVAC AND ELECTRICAL PANELS MUST BE SCREENED FROM THE VIEW OF ANY ADJACENT PROPERTY OR PERMIT OF RIGHT OF WAY.
22. A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET. CONTACT 341-5888 FOR MORE DETAILS. IN CERTAIN CASES THE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED. PLEASE COORDINATE WITH ENGINEERING FOR CONSTRUCTION SEQUENCING FOR RANDALL PARKWAY WIDENING EFFORTS AND IDENTIFY ANY LIMITED ACCESS CUTS TO NEW ASPHALT THAT COULD IMPACT THIS DEVELOPMENT.

1. THE CONTRACTOR SHALL VISIT THE SITE TO BECOME FAMILIAR WITH FIELD CONSTRUCTION CONDITIONS.
2. CONTRACTOR SHALL COORDINATE WORK WITHIN LOCAL RIGHT OF WAY WITH PROPER AUTHORITIES AND SHALL MEET ANY REQUIREMENTS AS TO TRAFFIC CONTROL AND CONNECTION TO EXISTING STREETS.
3. CLEARING AND GRUBBING: REMOVE ALL TREES AS REQUIRED UNLESS OTHERWISE NOTED TO REMAIN, STUMPS, ROOTS, SHRUBBERY, ASPH/CONCRETE STRUCTURES, BOLLARDS, UTILITIES, STORAGE TANKS, ETC. WITHIN LIMITS OF CONSTRUCTION.
4. STRIPPING: BEFORE EXCAVATING OR FILLING, REMOVE ALL TOPSOIL, WOOD, LEAVES, AND ANY OTHER UNSUITABLE MATERIAL.
5. MUCKING: REMOVE ANY SOFT, ORGANIC SILT MATERIALS AND EXPOSED CONSTRUCTION DEBRIS AS REQUIRED. FILL TO SUBGRADE ELEVATIONS WITH A CLEAN SELECT FILL COMPACTED AS SPECIFIED.
6. DISPOSAL: CLEARED, GRUBBED, STRIPPED OR EXCAVATED SOIL SHALL BE REMOVED FROM SITE AND DROPPED IN ACCORDANCE WITH ALL APPLICABLE LOCAL AND STATE CODES.
7. BORROW MATERIAL: THE CONTRACTOR SHALL FURNISH BORROW MATERIAL REQUIRED FROM OFF SITE AND OBTAIN ALL REQUIRED PERMITS ASSOCIATION WITH BORROW OPERATIONS.
8. FILL AND COMPACTION: AFTER STRIPPING, THE AREAS DESIGNATED TO RECEIVE FILL SHOULD BE PROOFROLLED. THE TOP 8" OF SUBGRADE SHALL BE COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT. ANY AREA WHICH PUMPS UP OR SETTLES EXCESSIVELY SHALL BE REWORKED AND REPLACED LAYERS A CLEAN, SILTY OR CLAYEY SAND HAVING A UNIFIED SOIL CLASSIFICATION OF SP, SM, OR SC. FILL MATERIAL 5' OUTSIDE OF BUILDING AREA SHALL THEN BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF MAXIMUM DENSITY. PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED TO 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY. FILL MATERIALS WITHIN BUILDING AREAS TO EXCEED 8" AND COMPACTED TO AT LEAST 98% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698) WITH THE UPPER 12 INCHES OF SUBGRADE BEING COMPACTED IN 6 INCH LAYERS TO AT LEAST 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY. IN AREAS WITH NO STRUCTURAL FILL IS TO BE PLACED THE UPPER 12 INCHES OF IN-PLACE SUBGRADE SHOULD BE COMPACTED TO AT LEAST 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY. IF THE MATERIAL IS TOO DRY TO COMPACT TO THE REQUIRED DENSITY EACH LAYER SHALL BE WETTED IN ACCORDANCE WITH COMPACTION REQUIREMENTS. IF MATERIAL IS TOO WET TO SECURE PROPER COMPACTION, SHALL BE ALLOWED TO REPEAT THE COMPACTION PROCESS. ALL CONSTRUCTION EQUIPMENT UNTO OPTIMUM MOISTURE CONTENT IS OBTAINABLE. FILL SHALL BE PLACED IN SUCH A MANNER THAT THE SURFACE WILL BE FLAT AND ALL THE FILL MEETS THE STRUCTURAL NOTES AND SOILS REQUIRED FOR ADDITIONAL " " REQUIREMENTS.

9. LAYOUT: THE CONTRACTOR SHALL PROVIDE ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK.
10. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF EXISTING UTILITIES DURING CONSTRUCTION.
11. EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION FROM SURVEY BY MIKE UNDERWOOD AND PROVIDED BY OWNER.
12. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT JOBSITE.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF RELOCATION OR DISCONNECTION OF ALL EXISTING UTILITIES WITH APPLICABLE AGENCIES AND AUTHORITIES.
14. ALL PAVEMENT AND BASE MATERIALS AND WORKMANSHIP SHALL CONFORM TO NCDOT STANDARDS.
15. WATER AND SEWER SERVICES SHALL BE INSTALLED TO MEET LOCAL AND STATE PLUMBING CODES. METER AND TAPS SHALL MEET ALL LOCAL REQUIREMENTS.
16. ALL AREAS SHALL BE GRADED FOR POSITIVE DRAINAGE.
17. SEE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
18. CONTRACTOR SHALL NOTE THAT EARTHWORK QUANTITIES ARE HIS RESPONSIBILITY. PLANS DO NOT REPRESENT A BALANCED EARTHWORK CONDITION.
19. REINFC. CONC. PIPE SHALL BE CLASS III W/RUBBER GASKETED JOINT OR "RAM NICK". INSTALL PER MANUFACTURER'S REQUIREMENTS.
20. REFER TO THE PLUMBING DRAWINGS FOR LOCATION AND INVERTS OF NEW WASTE AND WATER LINES.
21. SEE P.1&2 SHEETS FOR LOCATION AND INVERTS OF CONDENSATE AND ROOF DRAINS: THE GENERAL CONTRACTOR IS RESPONSIBLE TO LOCATE THESE LINES TO THE UNDERGROUND DOWNSPOUT DRAIN AT THE REQUIRED DEPTH TO DRAIN. ALL UNDERGROUND DOWNSPOUT DRAINS SHALL HAVE A MINIMUM SLOPE OF 1% AND BE SCH 40 PVC PIPE AS FOLLOWS: USE 4" PIPE FOR UP TO 4 DOWNSPOUT CONNECTIONS, 5" PIPE FOR 5 TO 8 DOWNSPOUT CONNECTIONS AND 8" PIPE FOR 9 OR MORE CONNECTIONS.
22. THE FINISHED GROUND ELEVATION AT THE BUILDING PERIMETER SHALL BE A MINIMUM OF 6 INCHES BELOW THE BUILDING FINISH FLOOR ELEVATION, EXCEPT AT ENTRANCES AND ENTRANCE TRANSITIONS.

1. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL EVENT IN NO LESS THAN 24 HOURS EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF-INCH RAINFALL.
2. ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. DEBRIS WILL BE REMOVED FROM THE ENTRANCES AND ALL WASTE OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
3. SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION, ROCK DOUGHNUT INLET PROTECTION AND ROCK PIPE INLET PROTECTION WHEN THE DESIGNATED STORAGE OR COLLECTION AREA IS FULL. WHEN FULL, THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE HARDWARE CLOTH AND GRAVEL INLET PROTECTION. WHEN THE SACKS WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
4. SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN THE DESIGNATED STORAGE OR COLLECTION AREA IS FULL. WHEN FULL, IT IS NECESSARY TO MAINTAIN A BARRIER. STAKELESS STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX, WITH THE USE OF EXTRA STRENGTH STAKES WITHOUT POINTS. STAKE SPACING WILL BE 10 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BAKING ARE USED, IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE SEDIMENT FENCE, THE SEDIMENT WILL BE REMOVED FROM THE SEDIMENT FENCE FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.

5. ALL SEEDED AREAS WILL BE FERTILIZED, RESEEDED AS NECESSARY, AND MULCHED, ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN, TO MAINTAIN A VICIOUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 15 WORKING DAYS. WATER QUALITY REQUIRES ALL SEEDED AREAS BE FERTILIZED, RESEEDED AS NECESSARY AND MULCHED WITHIN 15 WORKING DAYS TO SPECIFICATIONS. ALL PERIMETER DIKES, SWALES, HORIZONTAL TO DITCHES, PERIMETER SLOPES, ALL SLOPES STEEPER THAN 3:1, AND ALL AREAS SHALL BE FERTILIZED, RESEEDED AS NECESSARY TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICAL, BUT IN ANY EVENT WITHIN SEVEN (7) CALENDAR MONTHS FROM THE LAST LAND-DISTURBING ACTIVITY. ALL AREAS SHALL BE FERTILIZED, RESEEDED AS NECESSARY TO PROVIDE TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICAL, BUT IN ANY EVENT WITHIN FORTYFOUR (14) CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.

ALL CONTRACTORS AND SUB-CONTRACTORS
SUBMITTING BIDS ON THIS PROJECT SHALL BE
REQUIRED TO RECEIVE THE ENTIRE SET OF
DRAWINGS. BROKEN SETS ARE NOT ALLOWED
FOR BIDDING PROJECTS.

UNDER NO CIRCUMSTANCES ARE THE DRAWINGS
TO BE SCALED !!

[illegible]